

**Timothy Burke**  
ARCHITECTURE, INC.



142 Berkeley Street  
Boston, MA 02116  
[617] 266-1332

July 27, 2018

Sarah Raposa, AICP  
Town Planner  
Town of Medfield  
459 Main Street  
Medfield, MA 02052

Re: Proposed addition to the Kingsbury Club, Medfield, MA

Dear Sarah,

Attached please find an application to amend the original Site Plan Review Approval for the Kingsbury Club, 2 Ice House Road, Medfield. The facility is on land owned by the Town of Medfield and is in the industrial Extensive (I-E) Zoning District.

This project received Site Plan Approval from the Planning Board in January 2007. The originally approved project drawings included future expansion areas. The swimming pool addition was completed in 2016 and the current project is an addition for basketball, tennis and pickleball courts. The parking lot will also be extended as shown on the original plans to serve the addition.

The proposed addition has a modified footprint from the originally approved drawings and we are seeking an amendment to the Site Plan Review Approval. The Board of Health has reviewed and approved the proposed expansion.

A small addition is also planned for the restaurant kitchen to provide much needed storage space and the main entry will be updated with a new vestibule.

Please contact me with any questions or if additional information is needed.

Sincerely,

A handwritten signature in black ink, appearing to read "Timothy Burke", written in a cursive style.

Timothy Burke, AIA, LEED AP

RECEIVED  
TOWN OF MEDFIELD, MASS.

2018 JUL 27 A 9:50

OFFICE OF THE  
TOWN CLERK

**MEDFIELD PLANNING BOARD**

**APPLICATION FOR SITE PLAN APPROVAL**

DATE July 25, 2018

NAME OF APPLICANT Kingsbury Club Medfield, Inc.

ADDRESS 2 Icehouse Road TEL.NO. 508-359-780  
Medfield, MA 02052

NAME OF PROPOSED PROJECT Proposed addition.

IF RECORD OWNER OF THE PROPERTY IS DIFFERENT FROM THE APPLICANT:

FULL NAME Town of Medfield  
ADDRESS 459 Main Street TEL NO. 508-906-302  
Medfield, MA 02052

APPLICANT'S INTEREST IN PROPERTY THAT SITE PLAN APPROVAL IS REQUESTED  
FOR: (owner, tenant, purchase and sale agreement)  
Lessee

STREET ADDRESS OF PROPERTY 2 Icehouse Road, Medfield, MA 02052

ZONING DISTRICT IE ASSESSORS MAP 56 AND LOT 045

Summary of any construction or change which the applicant intends to make to the property if site plan approval is granted:

Construct a one-story addition on the northwest side of the existing building for  
two basketball courts, two tennis courts, six pickleball courts and support facilities.

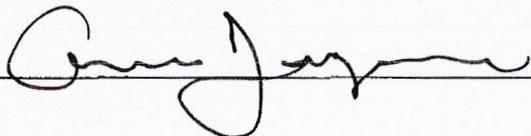
Construct additional parking spaces. Construct new vestibule at main entry.

Construct a one story addition for kitchen on southeast side of the existing building.

I hereby request a hearing before the PLANNING BOARD with reference to the above application. In the event that a site plan approval is granted, I will record the same with the Norfolk Registry of Deeds or the Norfolk Registry District of the Land Court, as appropriate.

(copy to Town Clerk)

Signed: \_\_\_\_\_



# Kingsbury Club Parking Area Pole Mounted Fixture Type D1

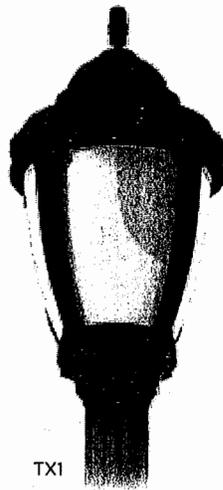
**PHILIPS  
HADCO**



Urban

City Post

TX1 - Post Top Luminaire



TX1



Project: \_\_\_\_\_  
 Location: \_\_\_\_\_  
 Cat.No: \_\_\_\_\_  
 Type: \_\_\_\_\_  
 Lamps: \_\_\_\_\_ Qty: \_\_\_\_\_  
 Notes: \_\_\_\_\_

The Philips Hadco City Post LED post top luminaire provides an optimal balance of standard features and accessories results in a competitively positioned luminaire to address a variety of outdoor lighting projects, efficiently illuminating streets, parks, cities, campuses and city centers.

### Ordering guide

example: TX1 32 G2 B H L P A 1 A 3 N W A 5 N N S P1 N

Series	LED count	Gen.	Globe	Pod	Roof	Cage / Band	Finial	Fastener	Finish	Optics	Photo Control	Color Temp	Voltage	Drive Current (mA)
TX1	48	G2	C	H	L	Q	C	1	A	3W	E	W	A	5
TX1 City Touch	32' 32 LEDs 48 48 LEDs 64' 64 LEDs	G2 Gen2	B Opal C Clear D Vertical Ribbed	H Round Contemporary J Tapered fluted with stepped fitter L Round fluted long S Traditional	L Traditional	P Ribbed Q Smooth	A B C D E G H N	1 Hex Head 2 Allen Head	A Black B White G Verde H Bronze J Green	2 Type 3 3 Type 3 3W Type 3 Wide 4 Type 4 5 Type 5	E 120 VAC Button Eye H 208/240/277 VAC Button Eye R 3 Pin Twist Lock Receptacle N None	N Neutral 4000K W Warm 3000K	A 120-277 B <sup>2,3</sup> 347-480	3 350 mA 5 530 mA 7' 700 mA

Integral Control Options <sup>2</sup>	Options			Surge Protection	House Side Shield
	No. 1 <sup>2</sup>	No. 2 <sup>2</sup>	No. 3 <sup>2</sup>		
					H
<b>Dynadimmer</b>	AST Adj. Start Up Time N None	CLO Constant Light Output N None	OTL Over The Life N None	SP1 10kV/10kA SP2 20kV/20kA	H House Side Shield N None
DA 4 Hrs, 25% reduction	DE 6 Hrs, 50% reduction	DJ 8 Hrs, 75% reduction			
DB 4 Hrs, 50% reduction	DF 6 Hrs, 75% reduction	N None			
DC 4 Hrs, 75% reduction	DG 8 Hrs, 25% reduction				
DD 6 Hrs, 25% reduction	DH 8 Hrs, 50% reduction				

Powered by the Philips LEDgine platform, CityPost can considerably reduce operating and maintenance costs while offering superior photometric performance. This IP66 lighting solution delivers a soft and diffused light at night which will contribute to the beautification of its surroundings with a decorative and traditional look and feel during the day.

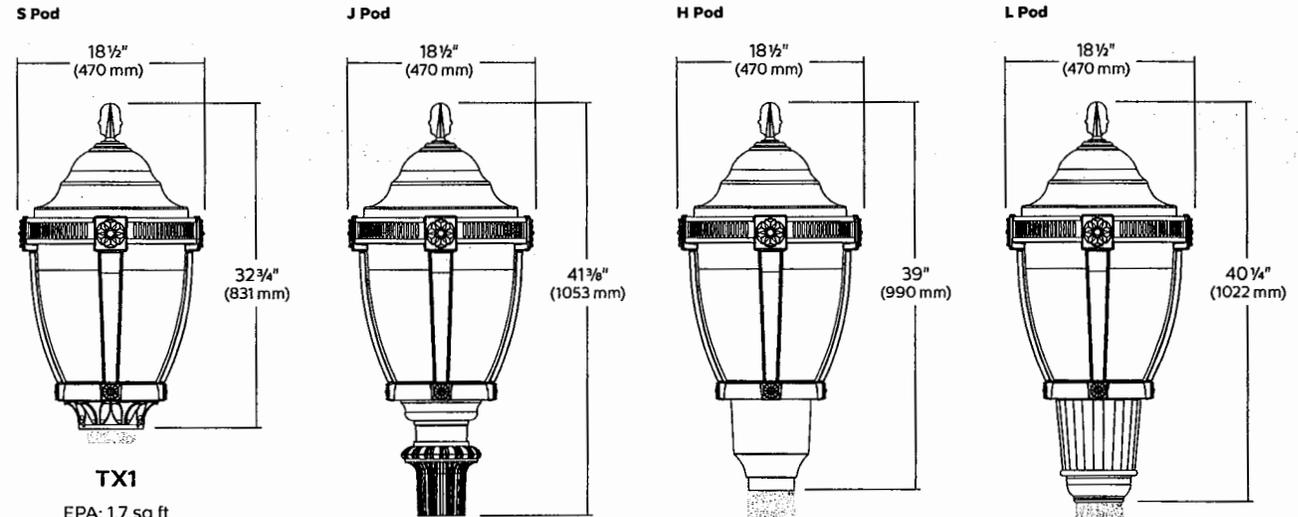
1. Not available as 64 LED with 700mA.  
 2. Configurations with 347-480VAC (B) voltage are not compatible with optional dimming or optional programming.  
 3. Configurations with 32 (32) LEDs at 350mA (3), 530mA (5) and 1050mA (1) currents are not compatible with 347-480 VAC (B) voltage.

# Type D1

## TX1 City Post, LED post top

Urban

### Dimensions



TX1  
EPA: 1.7 sq ft  
Weight: 39-44 lbs (17.7-20 kg)

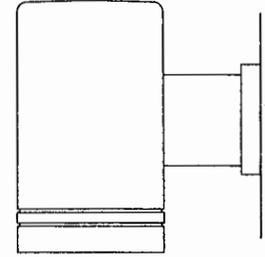
### LED Wattage and Lumen Values: for TX1 with Clear Globe

Ordering Codes	Total LEDs	LED current (mA)	Average System Wattage <sup>1</sup> (W)	Type 2			Type 3			Type 3w			Type 4			Type 5		
				Lumen Output <sup>2</sup>	BUG Rating	Effic. (LPW)	Lumen Output <sup>2</sup>	BUG Rating	Effic. (LPW)	Lumen Output <sup>2</sup>	BUG Rating	Effic. (LPW)	Lumen Output <sup>2</sup>	BUG Rating	Effic. (LPW)	Lumen Output <sup>2</sup>	BUG Rating	Effic. (LPW)
<b>Clear Globe (3000K)</b>																		
32-G2-C-x-W3	32	350	38	2726	B1-U2-G1	72	2766	B1-U2-G1	73	2760	B1-U2-G1	73	2763	B1-U2-G1	73	2820	B2-U2-G1	75
32-G2-C-x-W5	32	530	53	3909	B1-U2-G1	74	3968	B1-U2-G1	75	3958	B1-U2-G1	75	3963	B1-U2-G1	75	4044	B3-U2-G1	76
32-G2-C-x-W7	32	700	71	4930	B1-U2-G1	69	5004	B1-U2-G1	70	4992	B1-U2-G1	70	4998	B1-U2-G1	70	5101	B3-U2-G1	72
48-G2-C-x-W3	48	350	51	4088	B1-U2-G1	80	4150	B1-U2-G1	81	4139	B1-U2-G1	81	4144	B1-U2-G1	81	4229	B3-U2-G1	83
48-G2-C-x-W5	48	530	79	5864	B1-U3-G1	74	5952	B1-U3-G1	75	5937	B2-U2-G2	75	5944	B1-U2-G2	75	6067	B3-U2-G1	77
48-G2-C-x-W7	48	700	106	7396	B2-U3-G2	70	7507	B2-U3-G2	71	7488	B2-U3-G2	71	7497	B2-U3-G2	71	7651	B3-U2-G2	72
64-G2-C-x-W3	64	350	68	5101	B1-U2-G1	75	5200	B1-U2-G1	76	5325	B1-U2-G1	78	5166	B1-U2-G1	76	5497	B3-U2-G1	81
64-G2-C-x-W5	64	530	104	7317	B2-U3-G2	70	7459	B2-U3-G2	72	7638	B2-U3-G2	73	7411	B2-U3-G2	71	7884	B3-U2-G2	76
64-G2-C-x-W7	64	700	135	9229	B2-U3-G2	68	9407	B2-U3-G2	69	9634	B2-U3-G2	71	9346	B2-U3-G2	69	9944	B4-U3-G2	73
<b>Clear Globe (4000K)</b>																		
32-G2-C-x-N3	32	350	38	3062	B1-U2-G1	81	3108	B1-U2-G1	82	3101	B1-U2-G1	82	3104	B1-U2-G1	82	3168	B2-U2-G1	84
32-G2-C-x-N5	32	530	53	4393	B1-U2-G1	83	4458	B1-U2-G1	84	4448	B1-U2-G1	84	4453	B1-U2-G1	84	4544	B3-U2-G1	86
32-G2-C-x-N7	32	700	71	5540	B1-U3-G1	78	5623	B1-U2-G1	79	5609	B2-U2-G2	79	5616	B1-U2-G2	79	5731	B3-U2-G1	81
48-G2-C-x-N3	48	350	51	4594	B1-U2-G1	90	4662	B1-U2-G1	91	4651	B1-U2-G1	91	4656	B1-U2-G1	91	4752	B3-U2-G1	93
48-G2-C-x-N5	48	530	79	6589	B2-U3-G2	83	6688	B2-U3-G2	85	6671	B2-U2-G2	84	6679	B2-U3-G2	85	6816	B3-U2-G2	86
48-G2-C-x-N7	48	700	106	8310	B2-U3-G2	78	8435	B2-U3-G2	80	8414	B2-U3-G2	79	8424	B2-U3-G2	80	8597	B3-U3-G2	81
64-G2-C-x-N3	64	350	68	5732	B1-U3-G1	84	5843	B1-U2-G1	86	5983	B2-U2-G2	88	5805	B1-U2-G2	85	6176	B3-U2-G1	91
64-G2-C-x-N5	64	530	104	8222	B2-U3-G2	79	8381	B2-U3-G2	81	8582	B2-U3-G2	83	8327	B2-U3-G2	80	8859	B3-U3-G2	85
64-G2-C-x-N7	64	700	135	10369	B2-U3-G2	77	10569	B2-U3-G2	78	10824	B2-U3-G2	80	10501	B2-U3-G2	78	11173	B4-U3-G2	83

Actual performance may vary due to installation variables including optics, mounting/ceiling height, dirt depreciation, light loss factor, etc.; highly recommended to confirm performance with a layout - contact Applications at [outdoorlighting.applications@philips.com](mailto:outdoorlighting.applications@philips.com).  
Note: Some data may be scaled based on tests on similar but not identical luminaires.

# 300 LINE FORWARD THROW

**GENERAL DESCRIPTION:** The Gardco 300 Line is a series of compact, high-performance cylinder luminaires in a variety of styles and mounting configurations. Forward Throw units are suitable for direct rainfall and are rain-tight, dust-tight and corrosion-resistant. Housings are die cast aluminum with twin architectural reveals located near the luminaire apertures. A choice of two (2) models, two (2) light control styles and three (3) mounting options is available. Luminaires are finished with a fade- and abrasion-resistant polyester powdercoat offered in six (6) standard colors.



## ORDERING

example	PREFIX	MODEL	MOUNTING	TRIMS	LAMP	VOLTAGE	FINISH	OPTIONS
	300	U	W	FT/C	T70MH	120	BRP	F
	300	U Enclosed Upright	W Wall A <sup>1</sup> Arm Mount to Pole 2' x 5' arm	FT/C Lens, Clear dual assembly with forward throw reflector	T6 Lamp T70MH Supplied with the Lamp	120 277	BRP BLP WP NP BGP VP OC SC	F PCB WS
		D Enclosed Downlight	C Ceiling P <sup>2</sup> Pendant W Wall A <sup>1</sup> Arm Mount to Pole 2' x 5' arm	FT/D Lens, Clear flat with forward throw reflector				

### LAMP/VOLTAGE CHART

Voltage	120	208	240	277	347	480
T6 LAMP						
T70MH	•			•		

Supplied with the lamp. MH – Metal Halide

### FINISH

BRP	Bronze Paint
BLP	Black Paint
WP	White Paint
NP	Natural Aluminum Paint
BGP	Beige Paint
VP	Verde Green Paint
OC	Optional Color Paint Specify RAL designation. Ex. OC-RAL7024.
SC	Special Color Paint Must supply color chip.

### OPTIONS

F	Fusing
PCB	Button Type Photocontrol
WS	Wall-Mounted Box for Surface Conduit

### Notes:

- For "A" mounting, standard arm length is 6". If a longer arm is desired, indicate arm length, ex. "A12" is for a 12" arm length. Arms available in 6" increments of length up to 48". Maximum arm length is 48". If not mounted to top of pole, an additional handhole on pole is required to permit installation. Provide information as to size and type of pole.
- For "P" mounting, standard pendant length is 18". For other lengths, indicate desired length in inches, ex. "P30" is for a 30" pendant. Pendants available in 6" increments of length from 6" up to 144". Stated length is the distance from the ceiling to the top of the luminaire and takes into account the mounting hardware. For other stem lengths, add desired length in inches after "P." ex. 300-D-P24-L-50HPS-120-BRP (for 24").
- Luminaires cannot be field-modified to change optics or lamp types.

Prior to ordering, consult Submittal Data on [sitelighting.com](http://sitelighting.com) for most current information.

Gardco Lighting reserves the right to change materials or modify the design of its product without notification as part of the company's continuing product improvement program.



**TOWN OF MEDFIELD**  
**Board of Health**

TOWN HOUSE  
459 MAIN STREET  
MEDFIELD, MASSACHUSETTS 02052  
Tel: 508-906-3006 Fax: 508-359-6182

RECEIVED  
TOWN OF MEDFIELD, MASS.

2018 MAY -9 A 11: 09

OFFICE OF THE  
TOWN CLERK

May 8, 2018

Medfield Planning Board  
Town House  
459 Main Street  
Medfield, MA 02052

RECEIVED  
MAY 10 2018  
PLANNING DEPT

Re: **Site Plan Review – 2 Ice House Road, Medfield, MA**  
Plan date: Nove 8, 2017 Revised April 3, 2018  
Applicant: Kingsbury Club  
Engineer: McKenzie Engineering Group  
Design Engineer: Brad McKenzie, P.E., McKenzzie Engineering Group  
(Includes Stormwater Report by McKenzie Engineering Group, Dated April 3, 2018)

This is to advise that the Medfield Board of Health has reviewed the revised proposed site plan indicated above. The project adds imperious surface in the form of buildings for additional courts and basketball courts, parking and miscellaneous surfaces. In the event that additional impervious surface beyond 8.050 acres is added, the Applicant will be required to apply to the Medfield Zoning Board of Appeals, Planning Board and Board of Health.

This is to report that, at its meeting on May 8, 2018, the Medfield Board of Health voted to approve the plan subject to the following conditions:

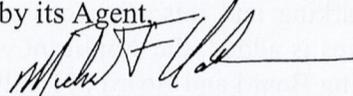
- 1.) The system should be maintained in conformance with the Operation and Maintenance Plan dated April 3, 2018. If the site plan as described above should be revised, it shall be resubmitted to the Medfield Board of Health for further review and approval.
- 2.) Prior to the Board of Health approval of the constructed storm water management facilities, an as-built plan shall be prepared by the Design Engineer, who shall certify that the drainage structures shown thereon have been constructed in accordance with the approved plan and the Board of Health and town regulations. This certification shall be on the as-built drawing. The Design Engineer shall verify that the soils at the location of the infiltration system are not disturbed during construction and verify that the soils infiltration capacity is maintained. No materials shall be placed over the receiving soil until authorized by the Board of Health. Such plan shall be submitted to the Board of Health for review and approval. The plan shall be submitted as paper copies and electronically as a \*.DWG file. A Certificate of Occupancy will not be issued until such Plan is approved by the Board of Health.
- 3.) Use of the buildings is initially approved only for the use specified herein. Any change of these uses shall be submitted to the Board of Health for review and approval of the Board of

Health for consistency with the storm water management plan and for any pollution prevention issues.

- 4.) The Applicant shall submit to the the Board of Health and the Medfield Department of Public Works a revised Stormwater Pollution Prevention Plan that includes the location, details, and maintenance of the specific Best Management Practices (i.e. stabilized construction entrance, perimeter controls,).
- 5.) The Engineer shall certify that the impervious surface is no great than the amount indicated in this approval.
- 6.) The Property shall sent all inspection reports to the Board of Health annually.
- 7.) It is the ultimate responsibility of the Design Engineer to assure that the storm water system design is in full compliance with all applicable laws and regulations, and that all storm water facility construction projects are designed and installed in accordance with manufacturer's minimum recommendations and/or requirements.
- 8.) Prior to construction, the Applicant shall provide physical separation between the work area and the 100-foot buffer zone of the wetland abutting site. This separation shall consist of a 4-foot high orange safety fence. No disturbance of the buffer zone from construction activities is permitted.

MEDFIELD BOARD OF HEALTH

by its Agent,



Michael F. Clark, P.E.  
Design Consultants Inc.

- CC: Applicant  
Engineer  
Town Clerk  
Building Department  
Planning Board  
Zonning Board of Appeals



# TOWN OF MEDFIELD

*Office of the*

## PLANNING BOARD

TOWN HOUSE, 459 MAIN STREET  
MEDFIELD, MASSACHUSETTS 02052-2009

(508) 359-8505 ext. 645

(508) 359- 6182 Fax

January 22, 2007

### SITE PLAN APPROVAL

**APPLICANT:**

Kingsbury Club  
Armand Janjigian, CEO  
186 Summer Street  
Kingston, MA 02364

**SITE PLAN IN MEDFIELD:**

Kingsbury Club  
Off West Mill Street (Ice House Road)  
Medfield, MA 02052

By application dated May 24, 2006, and filed with the Town Clerk and Planning Board on June 5, 2006, the Kingsbury Club, Armand Janjigian CEO, seeks Site Plan Approval for the Kingsbury Club to be located on land owned by the Town of Medfield and located off West Mill Street, on a street now know as Ice House Road, in the recently approved "30 Acres Subdivision." The site is located within the Industrial-Extensive (I-E) Zoning District.

The use for which the applicant seeks approval requires Site Plan Review under Section 14.13 of the Zoning Bylaw. Since the ground floor area of the construction exceeds 500 square feet, a building permit must be preceded by a Site Plan Approval granted by the Planning Board.

The Applicant filed with the Board a plan entitled, "Kingsbury Club, Medfield, MA" dated May 10, 2006, and last revised to January 22, 2007, prepared by Graham/Meus Architecture, Boston, MA. (Hereafter, the "Site Plan")

The public hearing on this Site Plan was held beginning on July 10, 2006, continued to July 31, 2006, September 11, 2006, September 25, 2006, October 16, 2006, November 13, 2006, and concluded on January 22, 2007.

### FINDINGS OF FACT AND OPINION

In accordance with the requirements of Section 14.13 of the Zoning Bylaw the Board makes the following Findings of Fact and Opinion:

1. Section 14.13.3.(1). This section is not applicable as the application is not a multifamily site plan.
2. Section 14.13.3.(2) The proposed use will not result in a public hazard due to substantially increased vehicular traffic or due to inadequacy of the structures or configurations of the road directly serving the site.

The Site is located on Town of Medfield property and is designated as “Lot 1” on a plan entitled “Subdivision Plan of land off West Mill Street in Medfield, MA.” It contains 12.8± acres. Based on a “Traffic Impact and Access Study” dated January 2007 provided by TEPP, LLC (Transportation Engineering, Planning and Policy) the Board determines that this requirement is satisfied.

3. Section 14.13.3.(3) The proposed use will not create any danger of pollution to public or private water facilities.

There are no public or private water facilities in the area and the Site will be connected to public water. In addition the plan has been reviewed and approved, with conditions, by the Board of Health.

4. Section 14.13.3.(4) The methods of drainage at the site are adequate and meet the standards of the Subdivision Rules and Regulations of the Town of Medfield.

The methods of drainage at the Site have been reviewed by the Planning Board’s engineer, Earth Tech, Inc., and the Board of Health, and found to be adequate when complying with conditions stated in the approval.

5. Section 14.13.3.(5) No excessive noise, light or odor shall be emitted.

The Applicant has agreed to contain, as much as possible, lighting on site and to provide additional screening as per plan.

6. Section 14.13.3.(6) The Site Plan and proposed use conforms to all requirements of the Zoning Bylaw of the Town of Medfield.

The Board so finds.

### **DECISION**

Based on the Findings of Fact and Opinion set forth above the Board makes the following decision:

The Planning Board hereby approves the Site Plan for the Kingsbury Club located in the approved “30 Acres Subdivision” off West Mill Street, Medfield, Massachusetts, after carefully

considering the site itself, the qualities of the location and the proposed use of the land, grading, access, and egress, and other aspects of the development, including those meeting the objectives discussed herein and the findings of the Board.

The Board imposes the following conditions on such approval, which the Board finds to be reasonable. In the event the Applicant/Developer fails to satisfy any of these conditions, the Board may revoke this approval.

1. The Applicant shall minimize tree cutting; no clear cutting shall take place.
2. Lighting will be coordinated with the Town of Medfield and the Town Adult Community Center. All lighting shall be contained on site so as to comply with the requirements of Section 8.3.2.c of the Town of Medfield Zoning Bylaw.
3. That a landscaping plan shall be added to the set of approved plans.
4. The Applicant shall consult with the Sign Advisory Board regarding appropriate signage.
5. Only a single curb cut shall be made in accord with "Curb Cut Option" plan dated 22 Jan 07.
6. The Applicant shall provide a Construction Management Plan to this Board and to the Building Inspector.
7. The "On-Site Portable Power Plant" shall be insulated so as to permit the least possible noise obtainable utilizing the Cogeneration System proposed..
8. The Applicant shall satisfy all the conditions of the Board of Health approval dated October 16, 2006.
  - a. If the site plan as described above should be revised, it shall be resubmitted to the Board of Health for further review and approval.
  - b. Prior to Board of Health approval of the constructed storm water management facilities, an as-built plan shall be prepared by a Registered Engineer, who shall certify that the drainage structures shown thereon have been constructed in accordance with the approved plan and the Board of Health and town regulations. Such plan shall be submitted to the Board of Health for review and approval.
  - c. A copy of the facility NPDES storm water Compliance Permit shall be submitted to the Board of Health office, both for the construction of and the subsequent operation of the facility where applicable.
  - d. A copy of all monitoring reports for the NPDES storm water Permit Compliance program shall be submitted to the Board of Health on a quarterly basis where applicable.

- e. A copy of the project Storm Water Pollution Prevention Plan (SWPPP) shall be submitted to the Board of Health for review prior to start of construction.
- 9. Construction hours shall be between the hours of 7 A.M. to 5 P.M. Monday through Saturday. No construction vehicles shall start up prior to 7 A.M.
- 10. In keeping with the Town Bylaws, Town of Medfield, Article IV, Section 24, the Club shall not open before 5 A.M. and shall close no later than 12 midnight.
- 11. The Applicant shall satisfy requirements of all other Boards or Commissions as are required as well as those of the Building Inspector relative to zoning compliance.
- 12. All conditions listed in this approval shall be included on the plan.
- 13. The Applicant shall record this decision in the Norfolk County Registry of Deeds.

**RECORD OF VOTE**

We, the members of the Planning Board, vote to approve the “Kingsbury Club” Site Plan as stated above in the “Decision”:

January 22, 2007

TOWN OF MEDFIELD PLANNING BOARD

Yes \_\_\_\_\_  
Elissa G. Franco, Vice-Chairman

Yes \_\_\_\_\_  
George N. Lester

Yes \_\_\_\_\_  
Keith R. Diggans

Yes \_\_\_\_\_  
Stephen J. Browne



# TOWN OF MEDFIELD

*Office of the*

## BOARD OF APPEALS

TOWN HOUSE, 459 MAIN STREET  
MEDFIELD, MASSACHUSETTS 02052-2009

(508) 359-8505 ext. 645  
(508) 359- 6182 Fax

No. 1055

May 18, 2007

*Decision of the Board of Appeals on the petition of:*

The Kingsbury Club – Ice House Road

By application dated January 25, 2007 (the "Application"), which was filed with Board of Appeals on that same date, the Kingsbury Club of 186 Summer Street, Kingston, Massachusetts (the "Applicant") seeks special permits under Sections 5.4.4.20 and 14.10.5 of the current zoning by-law of the Town of Medfield (the "Zoning By-Law") in order to operate a tennis and recreation facility on land located at Ice House Road, Medfield, Massachusetts (the "Property"). The Applicant is the prospective tenant of the Property. The Town of Medfield is the owner of the Property. Notice of the Application was published in the Medfield Press on March 1 and March 8, 2007 and a public hearing was held on March 21, 2007. Notice of the Application and hearing was provided to the Applicant, to abutters, to appropriate Town boards and officials and to the planning boards of abutting towns. The hearing was called to order by Stephen M. Nolan, Acting Chairman, on March 21, 2007 at approximately 8:30 P.M. The Applicant's Chief Executive Officer, Armand Janjigian was present at the hearing. The Applicant's architect, Daniel Meus of Graham/Meus Architecture was also present at the hearing and presented the Application.

Mr. Meus presented the site plan of the proposed facility entitled "Site Utilities Plan" dated May 10, 2006 revised through January 22, 2007 prepared by Hamwey Engineering, Inc. (the "Site Plan").

Mr. Meus explained that the Applicant intends to construct and operate a tennis and recreation facility on the Property. Mr. Meus indicated that the proposed project was to be constructed in multiple phases, with the first phase consisting of the main building with dimensions of 120 feet by 120 feet as well as four tennis courts with aggregate dimensions of 120 feet by 220 feet. Subsequent phases would include a 95-foot by 140-foot addition for a pool, two additional tennis courts with aggregate dimensions of 100 feet by 120 feet, a gymnasium with dimensions of 60 feet by 120 feet, a function hall and spa with dimensions of 40 feet by 120 feet, six additional tennis courts with aggregate dimensions of 120 feet by 320 feet, an outdoor space with dimensions of 85 feet by 70 feet and a pool terrace and outdoor pool with an area of approximately 3,600 square feet. Mr. Meus described the main building as the only two-story portion of the proposed project. The main building would include a restaurant and lounge which would be open to the public and would contain 120 seats. There would also be a locker room serving the various athletic facilities as well as three or four exercise rooms for exercise classes of up to 25 people. Finally, the main building would also house a fitness center containing up to 72 pieces of exercise equipment and a physical therapy office.

Mr. Meus submitted a table of site coverage calculations showing that the total build-out would have a building footprint of 116,700 square feet and exterior impervious areas of 104,500 square feet for a total lot coverage of 221,200 square feet. According to the Site Plan, the overall area of the lot is 560,399 square feet, thus yielding a lot coverage of less than 40%.

Mr. Meus explained that the Property is served by public water and sewer.

The Applicants also submitted a traffic impact and access study prepared by Tepp LLC dated January 2007 (the "Traffic Study"). The Traffic Study indicates that a slight degradation in service on the area roadways will occur as a result of the proposed project and that the northbound approach to the West Mill Street/Harding Street intersection will suffer a degradation in level of service from B to C. Otherwise, the levels of service on area roadways generally remain the same after development of the proposed project. The Traffic Study recommends installation of a stop sign on the Ice House Road approach to West Mill Street and on the West Mill Street approach to Harding Street.

The Board questioned Mr. Meus regarding the parking for the proposed facility. Mr. Meus explained that the Applicant had not submitted a parking plan, nor had the Applicant prepared specific calculations of parking demand, but rather sized its parking facilities based on its experience with existing similar facilities. The Board requested more specific information regarding the proposed parking, including calculations of the required parking demand by reference to the parking standards in the Zoning By-Law. The hearing was continued until April 5, 2007 to allow the Applicant sufficient time to submit a parking plan and parking calculations. The continued hearing was continued from April 5, 2007 until April 12, 2007 at 7:30 P.M. due to a lack of a quorum. At the reconvened hearing on April 12, 2007, Mr. Meus presented a plan entitled "Parking Striping Plan" dated March 23, 2007 (the "Parking Plan") showing a total of 273 parking spaces to be constructed at eventual full build-out of the facility. Mr. Meus also submitted a parking calculation showing a total demand for parking spaces at full build-out of 214 spaces.

No one spoke in favor of or in opposition to the Application.

The members of the Board, being familiar with the Property, did not take a view.

**FINDINGS OF FACT**

Based upon the materials submitted by the Applicant, the evidence presented at the hearing and the Board’s observation at the view, the Board finds as follows:

1. The Property is shown as Lot 45 on Assessor's Map 56.
2. The owner of the Property is the Town of Medfield and the Applicant is the prospective tenant of the Property.
3. The proposed improvements at the Property would include a main building housing a restaurant/lounge, a locker room, four exercise studios, a fitness center and a physical therapy center, up to 12 tennis courts, a pool, a gymnasium and a function hall/spa. Following are the footprints of the various components of the proposed facility:

<b><u>DESCRIPTION</u></b>	<b><u>SQUARE FEET</u></b>
Main Building – 120'x120'	14400
Entrance	200
Pool – 95'x140'	13300
Tennis Courts (4) 120'x220'	26400
Tennis Courts (2) 100'x120'	12000
Tennis Courts (6) 130'x320'	38400
Gym – 60'x120'	7200
Function/Spa – 40'x120'	4800
<b>BUILDING SUBTOTAL</b>	<b>116700 s.f.</b>

4. The proposed facility would also contain parking areas for up to 273 cars, an outdoor space adjacent to the function hall and a pool terrace and future outdoor pool. Following is a table of the footprints of these various outdoor facilities:

<u>DESCRIPTION</u>	<u>SQUARE FEET</u>
Parking/Paving (273 cars)	94900
Outdoor space	6000
Pool Terrace/Outdoor Pool	3600
EXTERIOR SUBTOTAL	104500 s.f.

5. The proposed restaurant/lounge would include a total 120 seats. The exercise facility would include up to 72 pieces of exercise equipment. The four fitness studios would house up to 25 participants each, for a maximum of 100 participants. The physical therapy center would house no more than one therapist at any one time. There would be up to 20 employees on-site at any one time. The gymnasium would hold up to 40 participants at any one time. A party room at the function hall would hold up to 20 participants and the larger function room at the function hall would hold up to 150 seats. The spa would include 12 stations with up to six employees at any one time.

6. The proposed facilities are shown on the Site Plan and the proposed parking layout is shown on the Parking Plan.

7. The proposed facility is the subject of a site plan approval issued by the Medfield Planning Board on January 22, 2007.

**OPINION**

Under Section 5.4.4.20 of the Zoning By-Law, amusement and recreation services in an IE zoning district are permitted by special permit from the Board of Appeals. Section 14.10 of the Zoning By-Law governs special permits generally. Section 14.10.1 of the Zoning By-Law sets forth certain required contents of a special permit application, including plans showing any proposed construction, alterations or renovations of the premises for which the special permit is

sought. The Applicant has submitted the Site Plan showing the proposed layout of the proposed facility as well as the Parking Plan showing the layout of proposed parking areas at the Property.

Section 14.10.5 of the Zoning By-Law sets forth a number of findings that the Board is required to make prior to issuing a special permit. We address each of these requirements in order.

Section 14.10.5(a) requires that we determine that the proposed use will not result in a public hazard due to substantially increased vehicular traffic or parking in the neighborhood. The proposed tennis and recreation facility is not expected to generate significant traffic to and from the Property. The Traffic Study submitted by the Applicant indicates that the traffic impact from the proposed facility on surrounding roadways and intersections will be fairly slight and that, although there will be some degradation of levels of service, the resulting levels of service will remain at acceptable levels after completion of the proposed facility.

The parking requirements applicable to the proposed facility are not entirely clear under the Zoning By-Law. The type of use proposed by the Applicant is not squarely within any of the use categories set forth in Table 8.1 which establishes off-street parking standards. Some of the most analogous uses are as follows: medical offices and clinics (five spaces for each doctor having office space therein); gymnasiums (one space for each four seats or each eight feet of bench therein to be based on the maximum seating capacity); community facility (one space per 300 square feet or fraction thereof of space plus space for spectators as required in auditorium, gymnasium, etc.); restaurants, nightclubs or eating places (one space for each three seats or stools plus one space for each two employees plus for spaces for each two linear feet of "take out service" counter) and barber shop or beauty parlor (two spaces for each chair installed and one

space for each two operators). Applying these parking requirements to the proposed uses produces a total parking demand of 272 spaces calculated as shown in the following table:

<u>Use</u>	<u>Intensity</u>	<u>Bylaw Requirement</u>	<u>Total</u>
Fitness Functions			
Exercise Equipment	72 pieces	1 space per 4 "seats"	18
Studios	100 participants	1 space per 4 "seats"	25
Lounge	120 seats	1 space per 3 "seats"	40
Tennis (12 courts)	48 participants	1 space per 4 "seats"	12
Physical Therapy	1 therapist	5 spaces per "doctor"	5
Employees	20	1 space per 2 employees	10
Future Fitness Functions	50 participants	1 space per 4 "seats"	12
Gymnasium	40 participants	1 space per 4 "seats"	10
Party Rooms	20 participants	1 space per 3 "seats"	7
Function Rooms	150 seats	1 space per 3 "seats"	50
Indoor Pool	13,300 square feet	1 space per 300 square feet	44
Outdoor Pool	3,600 square feet	1 space per 300 square feet	12
Spa	12 stations/6 employees	2 per station, 1 per 2 employees	27
<b>TOTAL Spaces</b>			<b>272</b>

Although the parking requirements are not exactly on point, we think that the overall parking demand calculated above reflects a reasonable amount of parking for the proposed uses. We are mindful that the uses are quite varied and, accordingly, the peak parking demand from various aspects of the facility are unlikely to be contemporaneous.

The amount of parking proposed by the Applicant will exceed that required under the Zoning By-Law. This fact, together with the Traffic Report, suggests that there will not be a public hazard due to substantially increased traffic or parking.

Section 14.10.5(b) requires that we determine that the proposed use will have no adverse effect on property values in the neighborhood. The Applicant's proposed use will be located within the IE zoning district and will not change the existing nature of the neighborhood, which is intended to be commercial in nature. Accordingly, the Board concludes that the proposed use will have no adverse impact on property values in the neighborhood.

Section 14.10.5(c) requires that we determine that the proposed use is architecturally and aesthetically consistent with the other structures in the neighborhood. Again, the proposed use will be located within the IE zoning district and the exterior of the structure will be consistent with other intended uses in the neighborhood. Thus, we conclude that the proposed use will be architecturally and aesthetically consistent with the neighborhood.

Section 14.10.5(d) requires that we determine that the proposed use will not create any hazard to public safety or health in the neighborhood. As indicated above, the traffic impact of the proposed use is not expected to be substantial and we find that there will be no hazard to public health if the proposed use is conducted in accordance with the conditions set forth below.

Section 14.10.5(e) requires that we determine that the proposed use will not create any danger of pollution to public or private water facilities. The Site Plan has been reviewed and approved by the Medfield Planning Board. Furthermore, based on our review of the nature of the proposed use and the proposed sewer and drainage systems, we conclude that the proposed use will not create any danger of pollution to public or private water supplies.

Section 14.10.5(f) requires that we determine that the methods of drainage at the Property are adequate. The proposed use will be located within an approved industrial park with common drainage facilities. The proposed facility will be connected to such common drainage facilities and, accordingly, we conclude that the methods of drainage at the Property are adequate.

Section 14.10.5(g) relates to facilities not served by public sewerage. Accordingly, this requirement is not applicable to the Application.

Section 14.10.5(h) requires that we determine that no excessive noise, light or odor shall be emitted at the Property. We note that the Property is located within the IE zoning district. The conditions imposed in our decision with respect to hours of operation and direction of lighting will limit the noise, light and odor impacts from the proposed use. Accordingly, we conclude that the proposed use will not cause excessive noise, light or odor to be emitted from the Property.

Section 14.10.5(i) requires that we determine that no nuisance will be created by the proposed use. We believe that term "nuisance" as used in the Zoning By-Law requires an evaluation of the type of activity which is to be conducted and its effect on the surrounding neighborhood. In this case, the effect upon the neighborhood of a tennis and recreation facility in an approved industrial park will be negligible. The use will generally be consistent with the anticipated commercial uses in the IE zoning district. Accordingly, we conclude that the use of the Property for a tennis and recreation facility will not create a nuisance.

Section 14.10.5(j) requires that we determine that there is an adequate supply of potable water approved by the Board of Health or the Water and Sewer Board. The Property is served by Town water and accordingly, we find that there is an adequate supply of potable water serving the proposed use.

In light of the findings we have made, we conclude that a special permit for a tennis and recreation facility is warranted by the Application and by the evidence produced at the public hearing. Accordingly, we grant the Application. We believe, however, that it is appropriate to condition the Application in a way which will make certain that the proposed use is performed in a manner that will have the least adverse impact on the neighborhood.

### **DECISION**

Based upon the foregoing findings, the Board hereby issues a special permit for the use of the Property (located on Ice House Road, Medfield, Massachusetts) as a tennis and recreation facility, subject to the following conditions:

1. The hours of operation of the tennis and recreation facility shall be limited to 5:00 A.M. to 12:00 P.M. Sunday through Saturday.
2. The proposed facility shall be constructed in accordance with the Site Plan and the Parking Plan, provided that construction may be in phases so long as the amount of parking in place upon completion of each phase is at least equal to the number of spaces required under the table set forth above for all of the elements of the proposed facility that will be in place upon completion of such phase.
3. Any sign visible from the exterior of the Property shall be in accordance with the Town of Medfield sign by-law and the Applicant shall obtain all necessary permits for any such sign.
4. The Applicant will consult with the Police Chief and the Director of the Department of Public Works regarding the installation of a stop sign at the Ice House Road approach to West Mill Street and at the West Mill Street approach to Harding Street. If the Police Chief and the Director of the Department of Public Works believe that either or both of

such stop signs are desirable, the Applicant shall either install such signs to the Town's specifications or pay to the Town the cost of installing such signs.

5. Any lighting on the Property shall be directed so as not to shine on abutting properties.

6. All conditions in the Site Plan Approval by the Medfield Planning Board are incorporated herein.

THIS DECISION WAS UNANIMOUS.

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Stephen M. Nolan, Acting Chairman

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Russell Hallisey, Member

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Charles H. Peck, Associate Member

ROBERT F. FYLVIA, CHAIRMAN AND BURGESS P. STANDLEY AND THOMAS REIS, ASSOCIATE MEMBERS DID NOT SIT ON THE BOARD AT THE PUBLIC HEARING CONCERNING THIS MATTER NOR DID THEY PARTICIPATE IN THE DELIBERATIONS OF THE BOARD OR IN THIS DECISION.

APPEALS FROM THIS DECISION, IF ANY, SHOULD BE MADE PURSUANT TO GENERAL LAWS, CHAPTER 40A, SECTION 17, AND SHALL BE FILED WITHIN 20 DAYS AFTER THE DATE OF FILING OF THIS DECISION IN THE OFFICE OF THE TOWN CLERK

# 2 ICE HOUSE ROAD MEDFIELD, MA

KINGSBURY CLUB

**Timothy Burke**  
ARCHITECTURE

142 BERKELY STREET, BOSTON MASSACHUSETTS 02116

P: 617.266.1332 | W: timothyburke.net | F: 617.266.1116

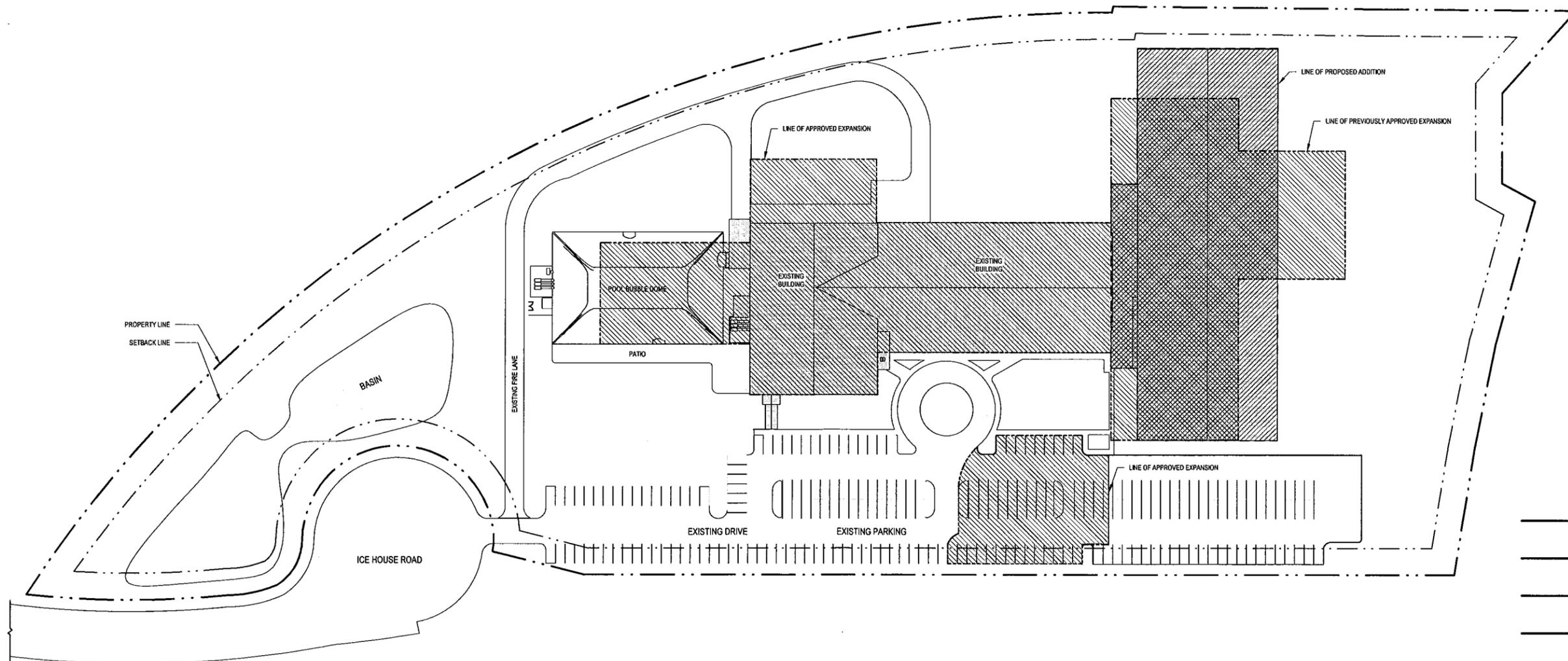
PARKING REQUIREMENTS					
USE	INTENSITY	BYLAW REQUIREMENT	ORIGINAL TOTAL	AMENDED TOTAL	REMARKS
FITNESS FUNCTIONS					
EXERCISE EQUIPMENT	72 PIECES	1 SPACE/ 4 "SEATS"	18	18	
STUDIOS	100 PARTICIPANTS	1 SPACE/ 4 "SEATS"	25	25	
LOUNGE	120 SEATS	*"F" 3 "SEATS"	40	40	
TENNIS COURTS (6)	12 PARTICIPANTS	1 SPA... 4 "SEATS"	24	6	
PHYSICAL THERAPY	1 THERAPIST	5 SPACES/ "DOCTOR"	5	5	
EMPLOYEES	20	1 SPACE/ 4 "SEATS"	10	10	
FUTURE FITNESS...	50 PARTICIPANTS	1 SPACE/ 4 "SEATS"	12		
GYMNASIUM	40 PARTICIPANTS	1 S' ACE/ 3 "SEATS"	10	10	
PARTY ROOMS	20 PARTICIPANTS	1 SPACE/ 3 "SEATS"	7	7	
FUNCTION ROOMS	100 SEATS	1 SPACE/ 3 "SEATS"	50	33	
INDOOR POOL	13,300 SQ FT	1 SPACE/ 300 SQ FT	44	44	*POOL SPACES ARE COMBINED
OUTDOOR POOL	3,600 SQ FT	1 SPACE/ 300 SQ FT	12	0	
SPA	12 STATIONS/EMPLOYEES	2 /STATION 1/2 EMPLOYEES	27	0	*NOT INCLUDED
PICKLE BALL COURTS	32 PARTICIPANTS	1 SPACE/ 4 "SEATS"		8	
TOTAL			272	206	*215 SPACES PROVIDED

ZONING - DIMENSIONAL REGULATIONS				
ARTICLE 6, TABLE 2				
SUBDISTRICT: IE				
DISTRICT OVERLAY: PRIMARY AQUIFER ZONE				
ITEM	REQUIRED	EXISTING	PROPOSED	COMMENTS
MIN. LOT AREA	40,000 SF			
MIN. LOT WIDTH	200 FT			
MIN. LOT FRONTAGE	200 FT			
MAX. ALLOWABLE F.A.R.	.5			
MAX. ALLOWABLE BUILDING HEIGHT	35 FT, 2 STORIES			
MAX. LOT COVERAGE	90%			
MIN. FRONT YARD	25 FT			
MIN. SIDE YARD	25 FT			
MIN. REAR YARD	25 FT			

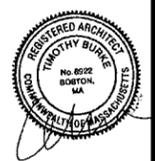
ZONING - BUILDING CODE STUDY	
CONSTRUCTION TYPE 2B - COUNTRY CLUB EXPANSION	
BUILDING CODE: 780 CMR 8TH EDITION, CONSISTING OF:	
2009 INTERNATIONAL BUILDING CODE (IBC), AND 780 CMR MASSACHUSETTS AMENDMENTS	
PROPOSED USE: TENNIS CLUB EXPANSION	
PROPOSED HEIGHT: 2 STORIES, 25'	
CODE REF.	DESCRIPTION
6	USE: I-E
TABLE 2	MINIMUM CONSTRUCTION TYPE ALLOWED FOR R-2 USE, 3 STORIES WITH SPRINKLER SYSTEM, LESS THAN 7,000 SF / FLOOR, HEIGHT LESS THAN 40'; TYPE VB

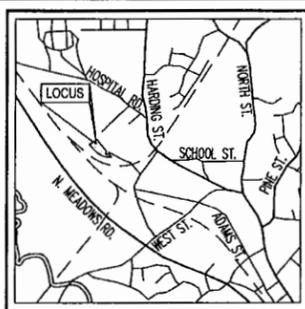
OCCUPANT LOAD - NEW BUILDING					
LOCATION	OCC. TYPE	AREA	SF per OCCUPANT	# OF OCCUPANTS	ADDITIONAL PARKING REQUIRED
CONNECTOR	A-3	3,339 SF	832 SF	4	2 SPACES
GYMNASIUM	A-3	16,559 SF	413 SF	40	10 SPACES
MEZZANINE	A-3	3,382 SF	188 SF	20	7 SPACES
TENNIS COURTS	A-3	31,000 SF	775 SF	40	10 SPACES

SHEET LIST	
SHEET NO.	SHEET NAME
0	COVER
C-101	PROPOSED SITE PLAN
C-102	EXISTING WATERSHED PLAN
C-103	PROPOSED WATERSHED PLAN
C-104	CONSTRUCTION DETAILS
C-105	CONSTRUCTION DETAILS
C-106	CONSTRUCTION DETAILS
L-101	LANDSCAPE AND LIGHTING PLAN



1 APPROVED EXPANSION vs PROPOSED ADDITION  
1" = 50'-0"

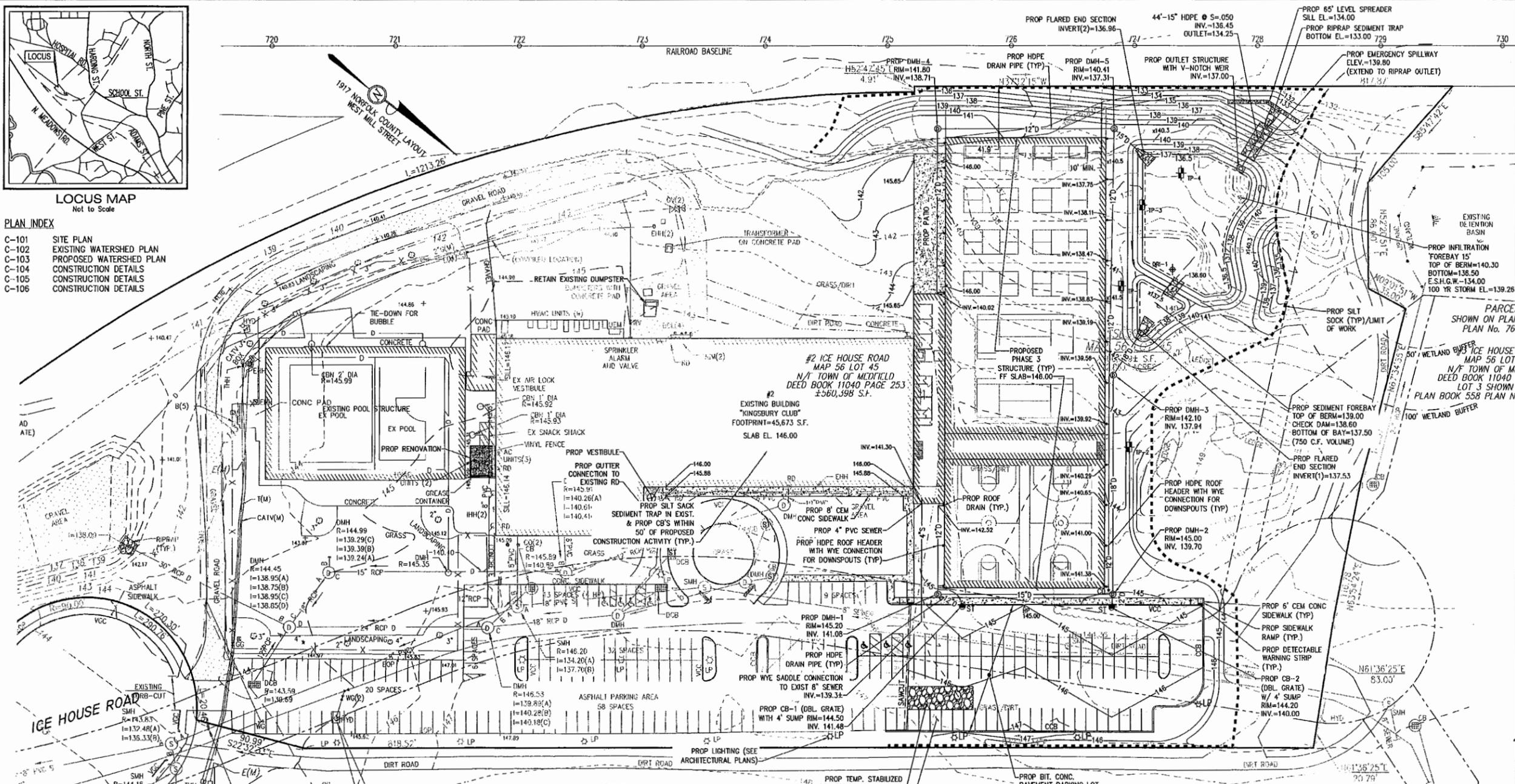




LOCUS MAP  
Not to Scale

PLAN INDEX

- C-101 SITE PLAN
- C-102 EXISTING WATERSHED PLAN
- C-103 PROPOSED WATERSHED PLAN
- C-104 CONSTRUCTION DETAILS
- C-105 CONSTRUCTION DETAILS
- C-106 CONSTRUCTION DETAILS



NOTES:

1. FIELD SURVEY PERFORMED BY MCKENZIE ENGINEERING GROUP, INC. IN DECEMBER, 2012 AND JULY, 2014 AND AUGUST, 2017.
2. THE SITE FALLS WITHIN THE INDUSTRIAL EXTENSIVE (I-E) ZONE AND THE PRIMARY AQUIFER ZONE AS DEPICTED ON THE CURRENT TOWN OF MEDFIELD ZONING MAP.
3. UTILITY INFORMATION FROM ABOVE GROUND OBSERVED EVIDENCE IN CONJUNCTION WITH DIG SAFE MARKINGS AND RECORD PLANS. THE LAND SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN HEREON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE LAND SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM AVAILABLE INFORMATION AND CONSTRUCTION AS THE LAND SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. BEFORE CONSTRUCTION CALL DIG SAFE SYSTEMS, INC. AT 1-888-344-7233.
4. ELEVATIONS SHOWN ARE REFERENCED TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD 1929) AND BASED ON A SPIKE FOUND IN A 3" OAK TREE AT ELEVATION 160.05 AS SHOWN ON A PLAN ENTITLED "SUBDIVISION PLAN OF LAND OFF WEST MILL STREET IN MEDFIELD, MA" DATED MARCH 9, 2005, SCALE: 1"=40' AND RECORDED IN PLAN BOOK 558 PAGE 66.
5. WETLAND RESOURCE AREAS SHOWN HEREON WERE COMPILED FROM PLAN BOOK 558 PLAN NO. 64 OF 2005 AND SHOULD BE CONSIDERED APPROXIMATE FOR THE PURPOSE OF THIS PLAN. NO WETLAND RESOURCE AREAS WERE OBSERVED DURING THE FIELD SURVEY.

FLOOD NOTE:

THE PROPERTY IS LOCATED IN ZONE X OF THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 25021C0154E WHICH BEARS AN EFFECTIVE DATE OF JULY 17, 2012 AND DOES NOT FALL WITHIN A SPECIAL FLOOD HAZARD AREA.

ABBREVIATIONS

- AC APPROX.
- ASPH ASPHALT
- BCC BITUMINOUS CONCRETE CURBING
- BOLL BOLLARD
- CB CATCH BASIN
- CONC CONCRETE
- COP CORRUGATED PLASTIC PIPE
- DCB DOUBLE CATCH BASIN
- DMH DRAIN MANHOLE
- EL ELEVATION
- EOP EDGE OF PAVEMENT
- F FIRST FLOOR
- GD GARAGE DOOR
- GG GAS GATE
- HYD HYDRANT
- IHH IRRIGATION HANDHOLE
- L LENGTH
- LP LIGHT POLE
- M MARKED
- N/F NOW OR FORMERLY
- N/P NUMBER
- NPV NO PIPE VISIBLE
- PVC POLYVINYL CHLORIDE
- R RADIUS
- RCP REINFORCED CONCRETE PIPE
- RD ROOF DRAIN
- SMH SEWER MANHOLE
- ST SILTSACK SEDIMENT TRAP
- TBC TRIPLE CATCH BASIN
- UEM UTILITY ELECTRIC METER
- UGM UTILITY GAS METER
- UWM UTILITY WATER METER
- VCC VERTICAL CONCRETE CURB
- VGC VERTICAL GRANITE CURB
- WV WATER VALVE

LEGEND

- CATCH BASIN
- UTILITY POLE
- SEWER MANHOLE
- DRAIN MANHOLE
- WATER GATE
- HYDRANT
- GAS GATE
- LIGHT POLE
- BOLLARD
- ROOF DRAIN
- DRAIN LINE
- SEWER LINE
- GAS MAIN
- UNDERGROUND ELECTRIC LINE
- WATER LINE
- DOUBLE RING INFILTRATOR TEST
- SOIL OBSERVATION HOLE

RECORD OWNER:

ASSESSOR'S MAP 56 LOT 45  
(SAME AS ASSESSOR'S MAP 56 LOT 45K)  
THE TOWN OF MEDFIELD  
459 MAIN STREET  
MEDFIELD, MA 02052  
PORTION OF PARCEL 1 -  
DEED BOOK 11040 PAGE 253

LESSEE OF PROPERTY:

ASSESSOR'S MAP 56 LOT 45K  
(SAME AS ASSESSOR'S MAP 56 LOT 45)  
KINGSBURY CLUB MEDFIELD, INC.  
2 ICE HOUSE ROAD  
MEDFIELD, MA 02052  
DEED BOOK 25170 PAGE 44

ZONING TABLE:

CRITERIA	REQUIRED	PROPOSED
MINIMUM LOT AREA	40,000 S.F.	580,398 S.F.
MINIMUM LOT FRONTAGE	200 FT.	563.5 FT.
MINIMUM LOT WIDTH	200 FT.	612.5 FT.
MINIMUM LOT DEPTH	200 FT.	906.6 FT.
MINIMUM FRONT YARD	25 FT.	602.1 FT.
MINIMUM SIDE YARD	25 FT.	42.0 FT.
MINIMUM REAR YARD	25 FT.	187.6 FT.
MAXIMUM HEIGHT	35 FT./2 STORIES	TRD
MAXIMUM F.A.R.	0.50	0.21
MAXIMUM LOT COVERAGE	90%	30%

PARKING TABLE:

HANDICAP PARKING CRITERIA	REQUIRED	PROPOSED
200-250 PROP PARKING SPACES	7 SPACES	7 SPACES

- NOTES:
1. CUSTOMER PARKING SPACES: 9' X 18'
  2. ACCESSIBLE SPACES: 9' X 18'
  3. VAN ACCESSIBLE SPACE: 9' X 18' W/ 8' X 18' ACCESS AREA
  4. VAN ACCESSIBLE SPACES REQUIRED = 2 (521 CMR: ARCHITECTURAL ACCESS BOARD)

BY	DATE	DESCRIPTION

PREPARED BY:

MCKENZIE ENGINEERING GROUP  
Assinippi Office Park  
150 Longwater Drive, Suite 101  
Norwell, MA 02061  
P: 781.792.3900  
F: 781.792.0333  
www.mckeng.com

**KINGSBURY CLUB MEDFIELD**  
**PHASE 3 PROPOSED SITE PLANS**  
(ASSESSOR'S MAP 56, LOT 45)  
2 ICE HOUSE ROAD  
MEDFIELD, MASSACHUSETTS

PROFESSIONAL ENGINEER:

APPLICANT:  
KINGSBURY CLUB MEDFIELD, INC.  
2 Ice House Road  
Medfield, Massachusetts 02052

DRAWN BY:	AJC
DESIGNED BY:	AJC
CHECKED BY:	BCM
APPROVED BY:	BCM
DATE:	JULY 27, 2018
SCALE:	1" = 40'
PROJECT NO.:	212-245
DWG. TITLE:	PROPOSED SITE PLAN
DWG. No.:	C-101



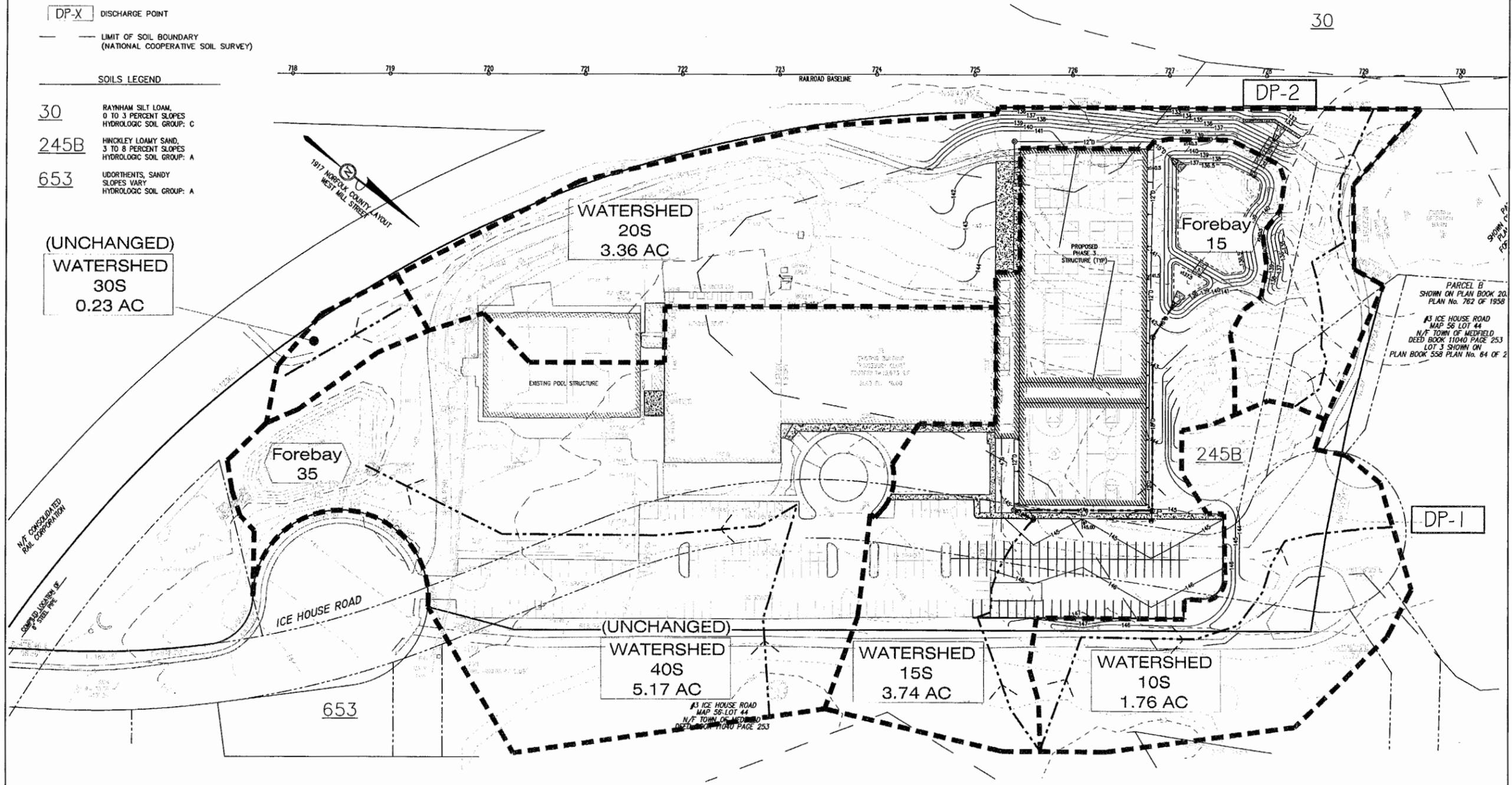
**LEGEND**

- # SUBCATCHMENT AREA
- # BASIN
- SUBCATCHMENT AREA LINE
- TIME OF CONCENTRATION FLOW PATH
- DP-X DISCHARGE POINT
- LIMIT OF SOIL BOUNDARY (NATIONAL COOPERATIVE SOIL SURVEY)

**SOILS LEGEND**

- 30 RAYNHAM SILT LOAM, 0 TO 3 PERCENT SLOPES, HYDROLOGIC SOIL GROUP: C
- 245B HINCKLEY LOAMY SAND, 3 TO 8 PERCENT SLOPES, HYDROLOGIC SOIL GROUP: A
- 653 UDORTHENTS, SANDY SLOPES VARY, HYDROLOGIC SOIL GROUP: A

(UNCHANGED)  
WATERSHED  
30S  
0.23 AC



REV	DATE	DESCRIPTION

PREPARED BY:  
**MEG**  
MCKENZIE ENGINEERING GROUP  
Assinippi Office Park  
150 Longwater Drive, Suite 101  
Norwell, MA 02061  
P: 781.792.3000  
F: 781.792.0333  
www.mckeng.com

**KINGSBURY CLUB MEDFIELD  
PHASE 3 PROPOSED SITE PLANS**  
(ASSESSOR'S MAP 56, LOT 45)  
2 ICE HOUSE ROAD  
MEDFIELD, MASSACHUSETTS

PROFESSIONAL ENGINEER:  
BRADLEY C. WARDEN  
CHPE  
No. 30911  
REGISTERED PROFESSIONAL ENGINEER  
MASSACHUSETTS

APPLICANT:  
KINGSBURY CLUB MEDFIELD, INC.  
2 Ice House Road  
Medfield, Massachusetts 02052

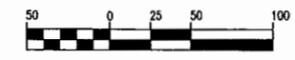
DRAWN BY: AJC  
DESIGNED BY: AJC  
CHECKED BY: BCM  
APPROVED BY: BCM  
DATE: JULY 27, 2018  
SCALE: 1" = 50'  
PROJECT NO.: 212-245  
DWG. TITLE:  
**PROPOSED WATERSHED PLAN**

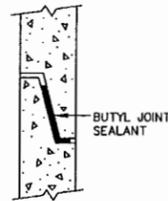
DWG. No.:  
**C-103**

30

PARCEL B  
SHOWN ON PLAN BOOK 20,  
PLAN No. 762 OF 1958  
#3 ICE HOUSE ROAD  
MAP 56 LOT 44  
N/F TOWN OF MEDFIELD  
DEED BOOK 11040 PAGE 253  
LOT 3 SHOWN ON  
PLAN BOOK 558 PLAN No. 64 OF 2

#3 ICE HOUSE ROAD  
MAP 56 LOT 44  
N/F TOWN OF MEDFIELD  
DEED BOOK 11040 PAGE 253





**PREFORMED FLEXIBLE JOINT SEALANT**

**MANHOLE JOINT DETAILS**  
SCALE: N.T.S.

**STORM DRAIN NOTES:**

1. REINFORCED CONCRETE DRAIN PIPE SHALL BE CLASS IV UNLESS OTHERWISE NOTED.
2. DRAIN PIPES WITH LESS THAN 3' OF COVER SHALL BE CLASS V RCP.
3. BACKFILL SHALL BE COMPACTED TO 95% MAXIMUM DRY DENSITY BY AASHTO T-1800 METHOD.
4. SHEETING, IF USED, SHALL BE CUT OFF NO MORE THAN 12" ABOVE TOP OF PIPE.
5. UNSUITABLE SOIL BELOW THE INVERT SHALL BE REMOVED AND REPLACED WITH APPROVED MATERIAL AND SHALL NOT BE USED AS BACKFILL.

**SEEDING SPECIFICATIONS**

**1. Seedbed Preparation**

- a. Surface and seepage water should be drained or diverted from the site to prevent drowning or winter killing of the plants.
- b. Stones larger than four inches and trash should be removed because they interfere with seeding and future maintenance of the area. Where feasible, the soil should be tilled to a depth of about four inches to prepare a seedbed and mix fertilizer and lime into the soil. The seedbed should be left in a reasonably firm and smooth condition. The last tillage operation should be performed across the slope wherever practical.

**2. Establishing a Stand**

- a. Lime and fertilizer should be applied prior to or at the time of seeding and incorporated into the soil. Kinds and amounts of lime and fertilizer should be based on an evaluation of soil tests. When a soil test is not available, the following minimum amounts should be applied:  
 Agricultural limestone: 2 tons per acre or 100 lbs. per sq. ft.  
 Nitrogen (N): 50 lbs. per acre or 1.1 lbs. per 1000 sq. ft.  
 Phosphate (P<sub>2</sub>O<sub>5</sub>): 100 lbs. per acre or 2.2 lbs. per 1000 sq. ft.  
 Potash (K<sub>2</sub>O): 100 lbs. per acre or 2.2 lbs. per 1000 sq. ft.  
 (Note: This is the equivalent of 500 lbs. per acre of 10-20-20 fertilizer of 1,000 lbs. per acre of 5-10-10)
- b. Seed should be spread uniformly by the method most appropriate for the site. Methods include broadcasting, drilling, and hydroseeding. Where broadcasting is used, cover seed with 0.25 inch of soil or less, by cultipacking or raking.
- c. Refer to Seeding Rates and Seeding Guides for appropriate seed mixtures and rates of seeding.
- d. When seeded areas are mulched, plantings may be made from early spring to early October. When seeded areas are not mulched, plantings should be made from early spring to May 20 or from August 10 to September 1.

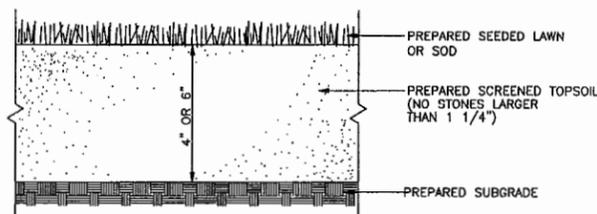
**3. Mulch**

- a. Hay, straw, or other mulch, when needed, should be applied immediately after seeding.
- b. Mulch will be held in place using techniques as specified in the "Best Management Practices Operation and Maintenance Plan"

**4. Maintenance to Establish a Stand**

- a. Planted areas should be protected from damage by fire, grazing, traffic, and dense weed growth.
- b. Fertilization needs should be determined by onsite inspections. Supplemental fertilizer is usually the key to fully complete the establishment of the stand because most perennials take 2 to 3 years to become established.
- c. In waterways, channels, or swales where uniform flow conditions are anticipated, occasional mowing may be necessary to control growth of woody vegetation.

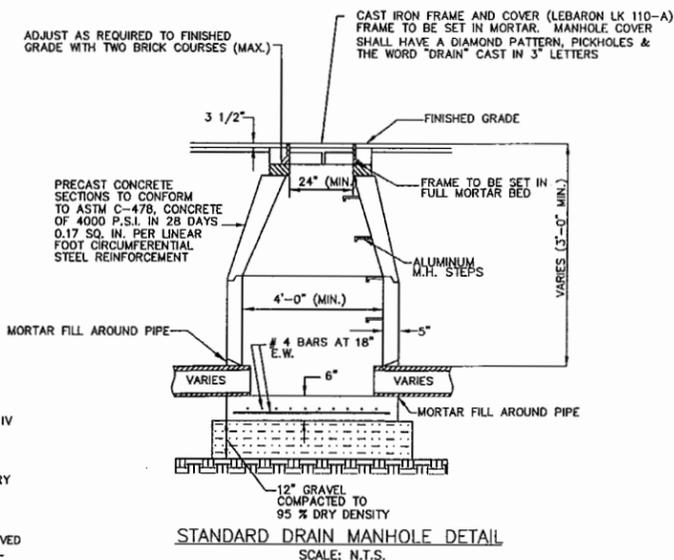
SIEVE	% PASSING
1 1/4 INCH	100
No.4	85-100
No.40	60-85
No.100	38-60
No.200	28-40



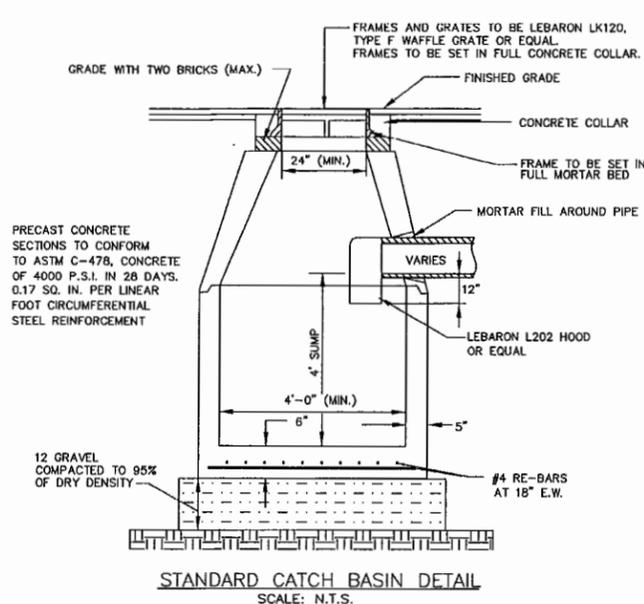
**NOTES**

1. TOP OF LOAM (TOPSOIL) IS FINISHED GRADE.
2. TOPSOIL SHALL CONTAIN BETWEEN 5% AND 12% ORGANIC MATTER AND SHALL HAVE A MAXIMUM STONE SIZE OF 1-1/4" AND SHALL CONFORM TO THE FOLLOWING GRADATION.

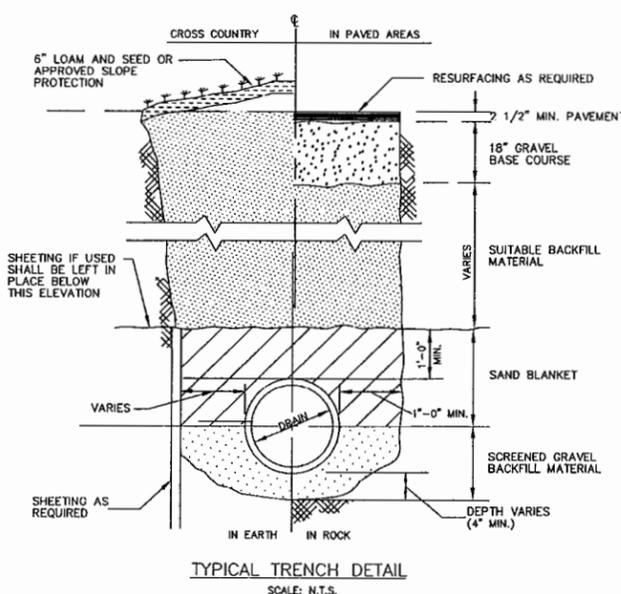
**SEEDED OR SODDED LAWN DETAIL**  
SCALE: N.T.S.



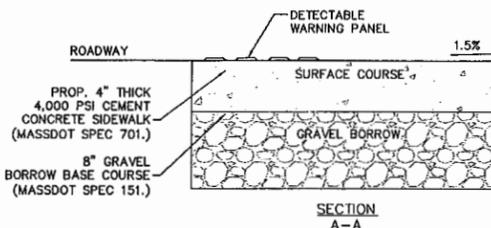
**STANDARD DRAIN MANHOLE DETAIL**  
SCALE: N.T.S.



**STANDARD CATCH BASIN DETAIL**  
SCALE: N.T.S.



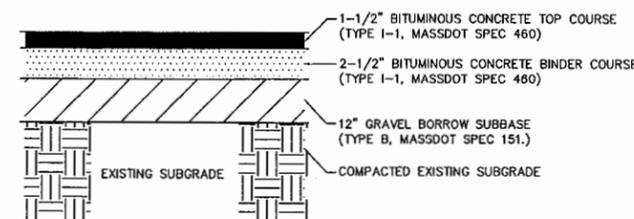
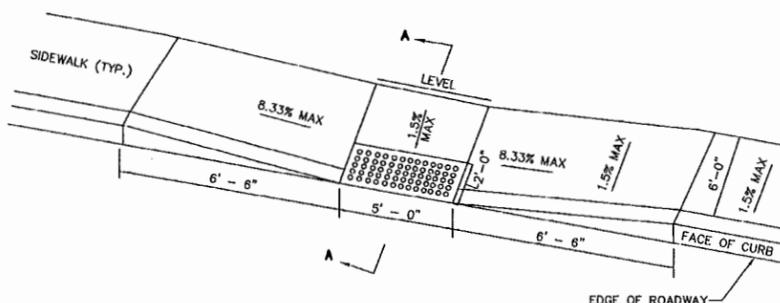
**TYPICAL TRENCH DETAIL**  
SCALE: N.T.S.



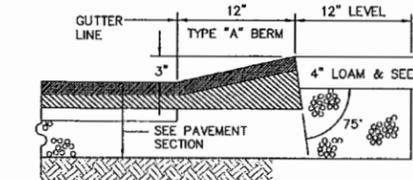
**NOTES:**

1. RAMP CROSS-SECTION TO BE SAME AS SIDEWALK CROSS-SECTION.
2. PORTLAND CEMENT CONCRETE RAMPS ARE TO BE BROOM FINISHED IN A DIRECTION PARALLEL TO THE LENGTH OF THE RAMP.
3. DRAINAGE FACILITIES ARE TO BE LOCATED UP-GRADE OF ALL WHEELCHAIR RAMPS.
4. DIMENSIONS ARE SUBJECT TO CHANGE IN THE FIELD IF EXISTING APPURTENANCES OR CONDITIONS WILL MAKE THE RAMP LOCATIONS IMPRACTICAL OR UNSAFE.

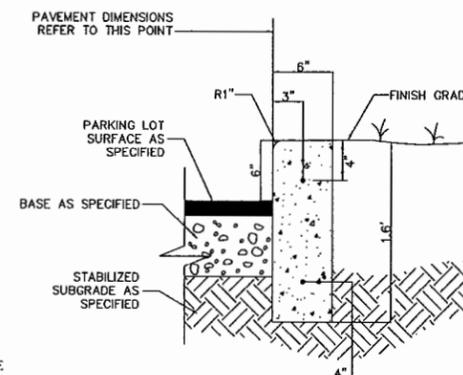
**WHEELCHAIR RAMP DETAIL**  
NOT TO SCALE



**PARKING LOT PAVEMENT SECTION**  
NOT TO SCALE

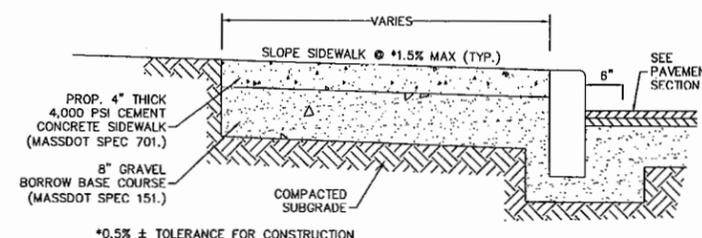


**MONOLITHIC BITUMINOUS CONCRETE BERM DETAIL (CAPE COD BERM)**  
NOT TO SCALE



NOTE: ALL CURBING TO BE 3000 PSI 28 DAY CONCRETE

**PRECAST CONCRETE CURB DETAIL**  
NOT TO SCALE



**NOTES**

1. ALL WORK SHALL COMPLY WITH TOWN OF MEDFIELD AND MASSDOT STANDARD SPECIFICATIONS. LATEST REVISION.

**CEMENT CONCRETE SIDEWALK**  
SCALE: N.T.S.

BY	APP	DATE	DESCRIPTION

PREPARED BY:  
**MEG**  
MCKENZIE ENGINEERING GROUP  
Assinippi Office Park  
150 Longwater Drive, Suite 101  
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F: 781.792.0333  
www.mckeng.com

**KINGSBURY CLUB MEDFIELD**  
**PHASE 3 PROPOSED SITE PLANS**  
(ASSESSORS MAP 56, LOT 45)  
2 ICE HOUSE ROAD  
MEDFIELD, MASSACHUSETTS



APPLICANT:  
KINGSBURY CLUB MEDFIELD, INC.  
2 Ice House Road  
Medfield, Massachusetts 02052

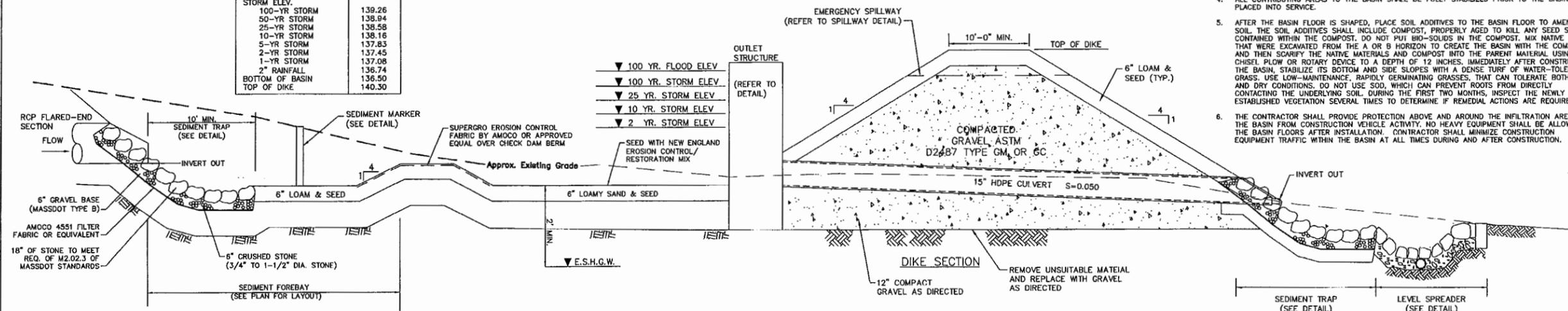
DRAWN BY: AJC  
DESIGNED BY: AJC  
CHECKED BY: BCM  
APPROVED BY: BCM  
DATE: JULY 27, 2018  
SCALE: AS NOTED  
PROJECT NO.: 212-245  
DWG. TITLE:

**CONSTRUCTION DETAILS**

DWG. No.: C-104

**DETENTION/INFILTRATION BASIN SCHEDULE**

APPROX. EXISTING GRADE	140-135
INVERT(1) IN	137.53
INVERT(2) IN	136.96
FOREBAY ELEV.	137.50
CHECK DAM BERM	138.60
TOP OF FOREBAY BERM	139.00
E.S.H.G.W.	134.00
STORM ELEV.	
100-YR STORM	139.26
50-YR STORM	138.84
25-YR STORM	138.58
10-YR STORM	138.16
5-YR STORM	137.83
2-YR STORM	137.45
1-YR STORM	137.08
2" RAINFALL	136.74
BOTTOM OF BASIN	136.50
TOP OF DIKE	140.30



**DETENTION/INFILTRATION BASIN SECTION**  
SCALE: N.T.S.

**NOTES:**

- FILL AND BASE FOR DIKES SHALL INSURE WATER TIGHTNESS AND STABILITY.
- BASIN SIDE SLOPES AND BOTTOM SHALL BE PROVIDED WITH 6" OF LOAM, SEED AT A RATE OF 2 POUNDS OF RED TOP, 15 POUNDS OF CREEPING RED FESCUE AND 20 POUNDS TALL FESCUE PER ACRE.
- THE CONTRACTOR SHALL NOT DISCHARGE SEDIMENT-LADEN WATER TO INFILTRATION BASIN COMPONENTS DURING CONSTRUCTION, INCLUDING DEWATERING OR TEMPORARY SURFACE RUNOFF.
- ALL CONTRIBUTING AREAS TO THE BASIN SHALL BE FULLY STABILIZED PRIOR TO THE BASIN BEING PLACED INTO SERVICE.
- AFTER THE BASIN FLOOR IS SHAPED, PLACE SOIL ADDITIVES TO THE BASIN FLOOR TO AMEND THE SOIL. THE SOIL ADDITIVES SHALL INCLUDE COMPOST, PROPERLY AGED TO KILL ANY SEED STOCK CONTAINED WITHIN THE COMPOST. DO NOT PUT BIO-SOLIDS IN THE COMPOST. MIX NATIVE SOILS THAT WERE EXCAVATED FROM THE A OR B HORIZON TO CREATE THE BASIN WITH THE COMPOST, AND THEN SCARIFY THE NATIVE MATERIALS AND COMPOST INTO THE PARENT MATERIAL USING A CHISEL PLOW OR ROTARY DEVICE TO A DEPTH OF 12 INCHES. IMMEDIATELY AFTER CONSTRUCTING THE BASIN, STABILIZE ITS BOTTOM AND SIDE SLOPES WITH A DENSE TURF OF WATER-TOLERANT GRASS. USE LOW-MAINTENANCE, RAPIDLY GERMINATING GRASSES, THAT CAN TOLERATE BOTH WET AND DRY CONDITIONS. DO NOT USE SOD, WHICH CAN PREVENT ROOTS FROM DIRECTLY CONTACTING THE UNDERLYING SOIL. DURING THE FIRST TWO MONTHS, INSPECT THE NEWLY ESTABLISHED VEGETATION SEVERAL TIMES TO DETERMINE IF REMEDIAL ACTIONS ARE REQUIRED.
- THE CONTRACTOR SHALL PROVIDE PROTECTION ABOVE AND AROUND THE INFILTRATION AREA OF THE BASIN FLOORS AFTER INSTALLATION. CONTRACTOR SHALL MINIMIZE CONSTRUCTION EQUIPMENT TRAFFIC WITHIN THE BASIN AT ALL TIMES DURING AND AFTER CONSTRUCTION.

BY	APP	
DESCRIPTION		
DATE		
REV		

PREPARED BY:  
**MCKENZIE ENGINEERING GROUP**  
Assinippi Office Park  
150 Longwater Drive, Suite 101  
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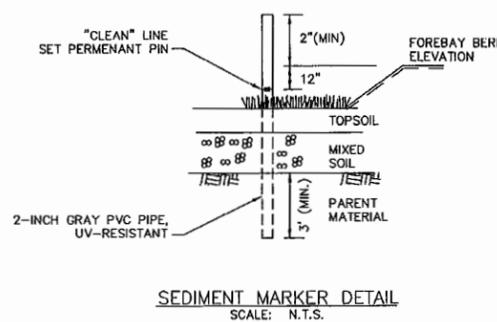
**KINGSBURY CLUB MEDFIELD**  
**PHASE 3 PROPOSED SITE PLANS**  
(ASSESSOR'S MAP 56, LOT 45)  
2 ICE HOUSE ROAD  
MEDFIELD, MASSACHUSETTS

PROFESSIONAL ENGINEER:

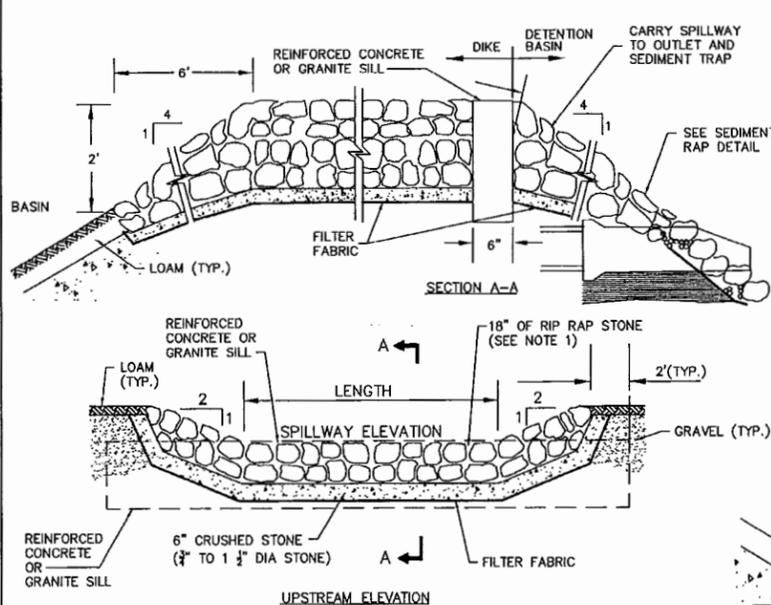
APPLICANT:  
**KINGSBURY CLUB MEDFIELD, INC.**  
2 Ice House Road  
Medfield, Massachusetts 02052

DRAWN BY: AJC  
DESIGNED BY: AJC  
CHECKED BY: BCM  
APPROVED BY: BCM  
DATE: JULY 27, 2018  
SCALE: AS NOTED  
PROJECT NO.: 212-245  
DWG. TITLE: CONSTRUCTION DETAILS

DWG. No: **C-105**



**SEDIMENT MARKER DETAIL**  
SCALE: N.T.S.

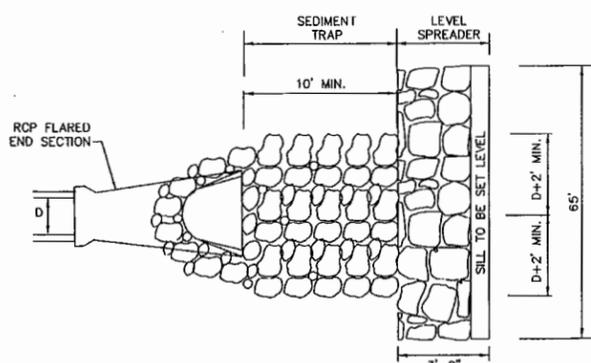


**SPILLWAY SCHEDULE**

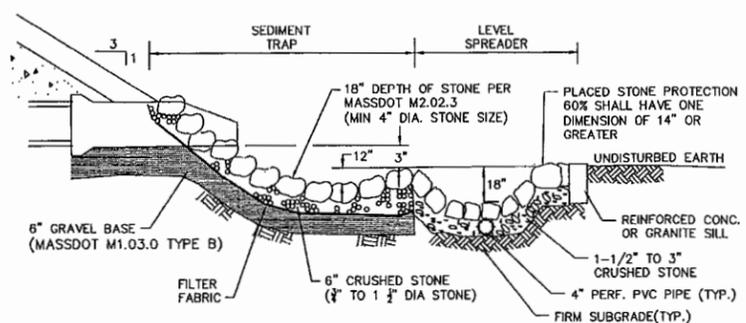
BASIN	SPILLWAY ELEV.	LENGTH	100-YR FLOOD ELEV.
#1	139.80	10 FT	139.26

NOTE:  
1. RIP RAP TO BE HAND CHINKED WITH A SMOOTH SURFACE ALONG THE TOP OF THE DIKE AND A ROUGH SURFACE ALONG THE DOWNSTREAM FACE AND TOE OF THE DIKE. STONE TO MEET M2.02.3 REQUIREMENTS.

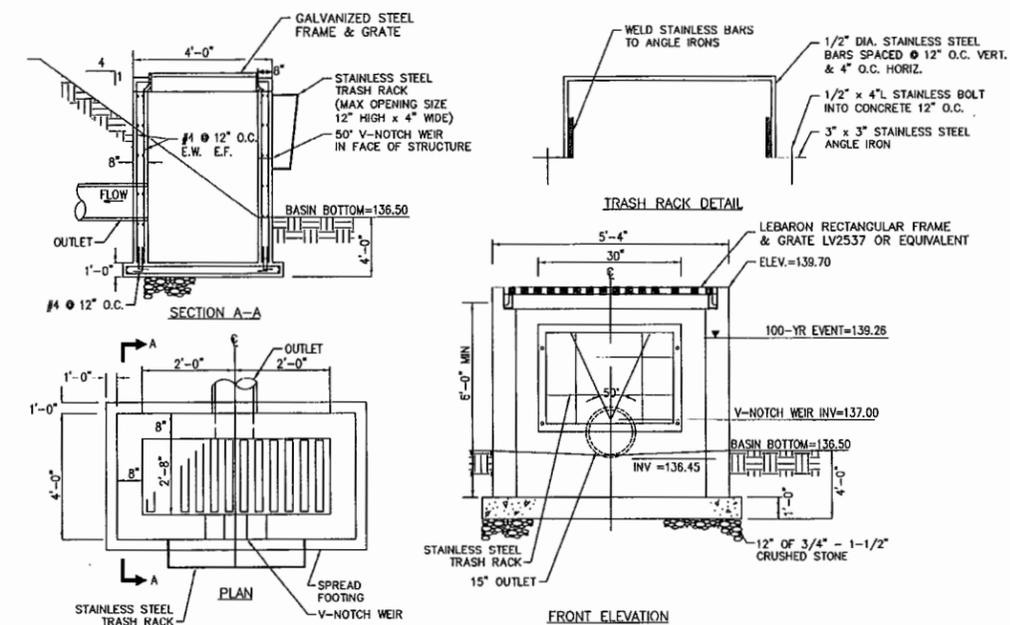
**SPILLWAY DETAIL**  
SCALE: N.T.S.



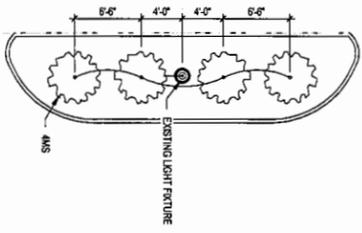
**SEDIMENT TRAP & LEVEL SPREADER DETAIL**  
SCALE: N.T.S.



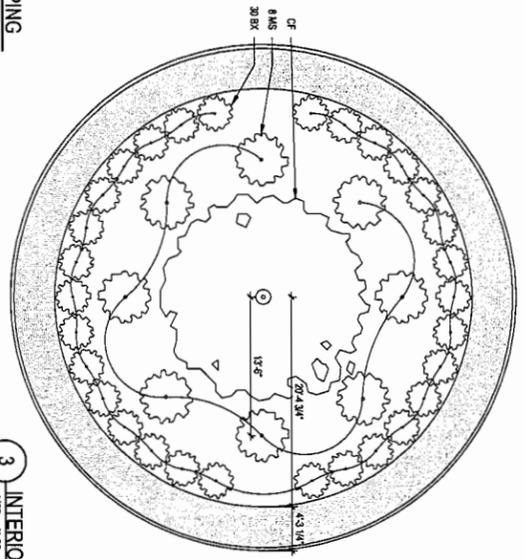
**INFILTRATION BASIN#1 OUTLET STRUCTURE DETAIL**  
SCALE: N.T.S.



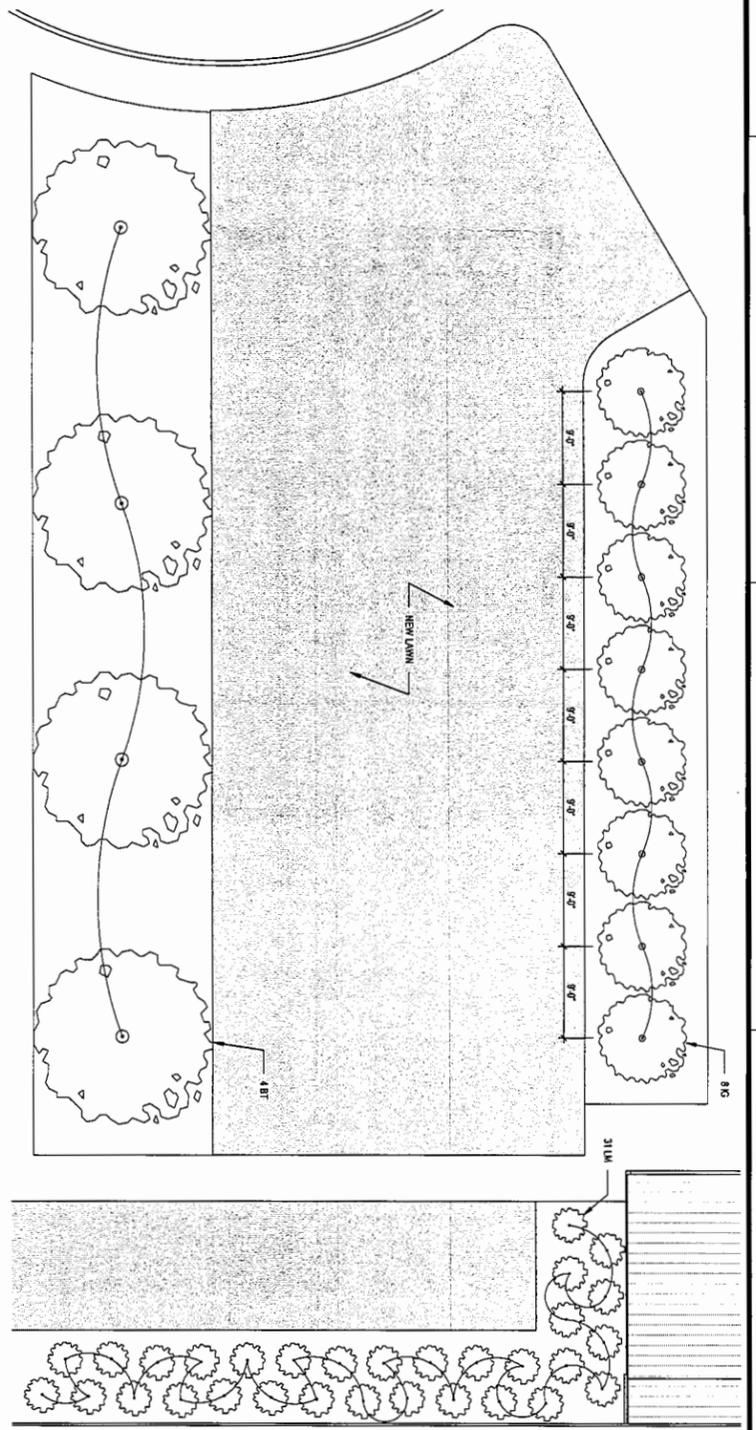




2 TYPICAL PARKING ISLAND LANDSCAPING  
1/8" = 1'-0"



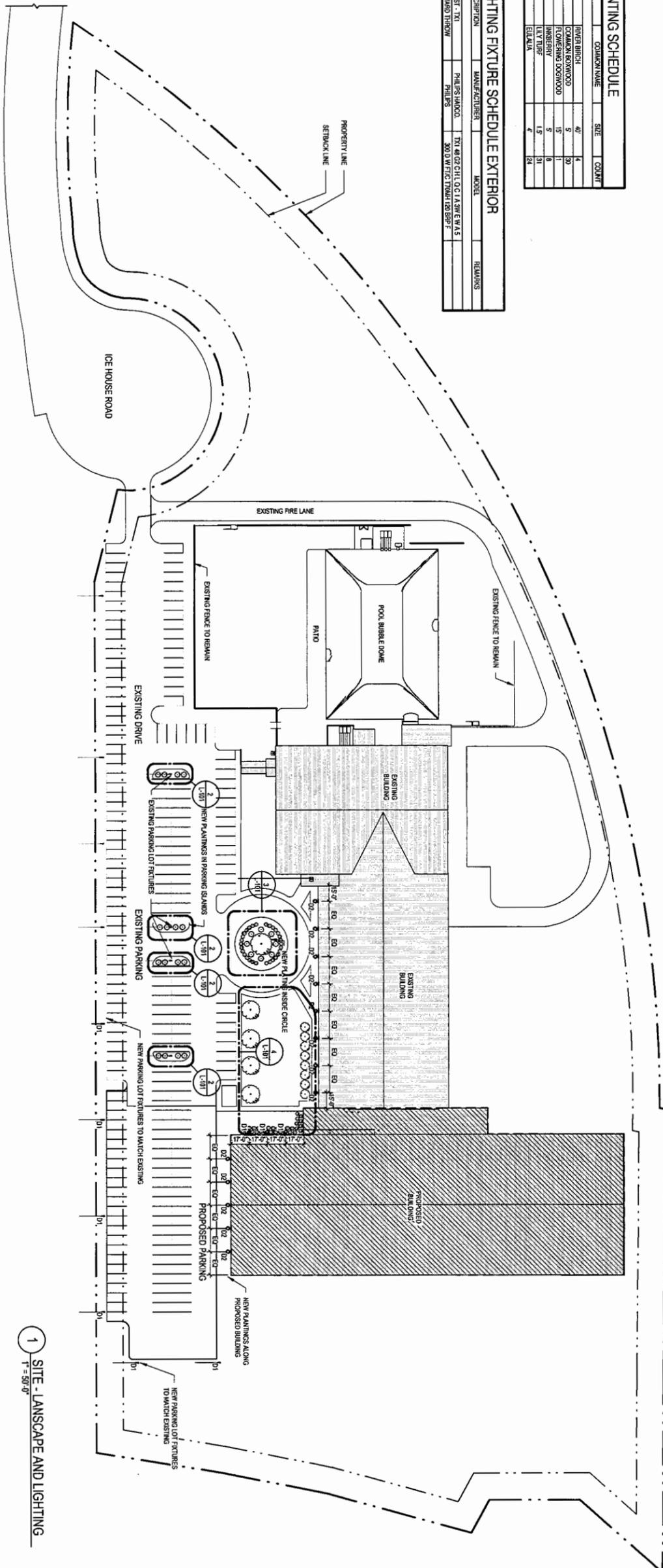
3 INTERIOR CIRCLE LANDSCAPING  
1/8" = 1'-0"



4 NEW ENTRANCE LANDSCAPING  
1/8" = 1'-0"

TYPE MARK	BOTANICAL NAME	COMMON NAME	SIZE	COUNT
BT	BETULA NIGRA	RIVER BIRCH	4"	4
BR	BETULA SEMPERVIRENS	COMMON BAYWOOD	5"	30
CF	CORNUS FLORIDA	FLOWERING DOGWOOD	15"	1
IG	LEX GLABRA	HAMBURGER	5"	8
LM	LIRIODENDRON	YELLOW	15"	31
MS	MISCANTHUS SINENSIS	BLUETOP	4"	24

TYPE MARK	COUNT	DESCRIPTION	MANUFACTURER	MODEL	REMARKS
D1	6	URBAN CITY POST - T1	PHILIPS SHAWCO	T11 48 02 CHL C C L 1 3 W E W A 5	
D2	17	300 LINE - FORWARD THROW	PHILIPS	300 D W F L C T H A T 1 2 B P E	

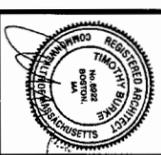


1 SITE - LANDSCAPE AND LIGHTING  
1" = 50'-0"

L-101

2 ICE HOUSE ROAD  
MEDFIELD, MA  
KINGSBURY CLUB

LANDSCAPE AND LIGHTING



Date:	10/04/17	Drawn By:	Author
REV.	DATE	DESCRIPTION	

**Timothy Burke**  
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